

LOCALITY PLAN N.T.S.

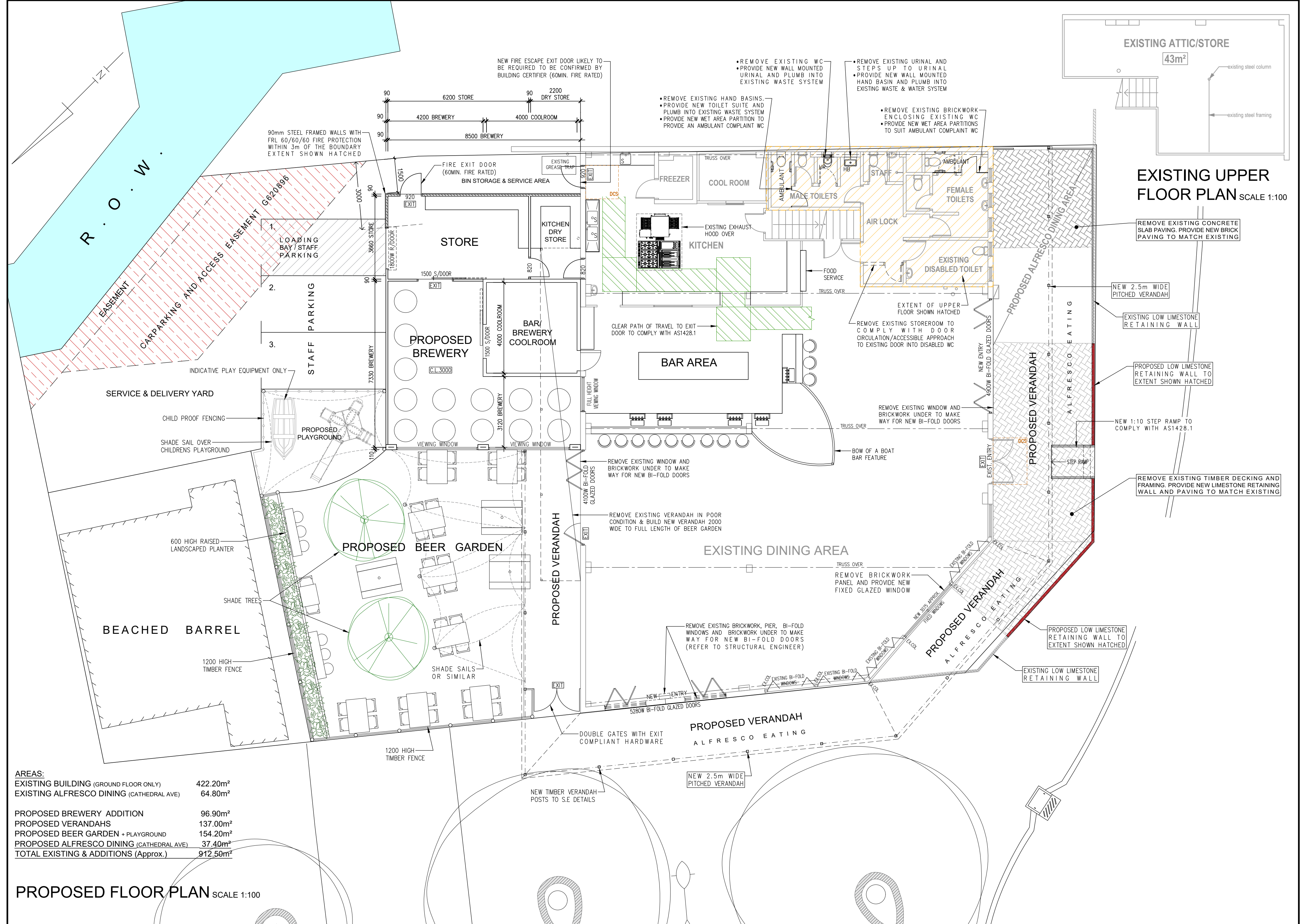
SITE PLAN SCALE 1:200

LEGEND

| | | | |
|---|-----------------------|---|--|
| △ | - T.B.M. | - | - FENCE |
| × | - SHUT VALVE | - | - CHANGE OF GRADE |
| D | - WATER METER | ▨ | - RAISED GARDEN WALL |
| + | - TAP | ▬ | - RETAINING WALL |
| ⊙ | - SEWER ACCESS SHAFT | ▬ | - BUILDING |
| □ | - ELECTRICAL WALL BOX | - | - OVERHANGING STRUCTURE |
| ■ | - ELECTRICAL PIT | - | - CONCRETE |
| ○ | - COMMUNICATIONS PIT | - | - LINE MARKING |
| ⊙ | - SIDE ENTRY PIT | - | - DRIVEWAY |
| ⊙ | - GULLY GRATE | - | - PAVING |
| ⊙ | - BOLLARD | - | - FLAT KERB |
| ⊙ | - UNKNOWN SERVICE | - | - TOP OF KERB |
| ⊙ | - TACTILE PAVING | - | - BOTTOM OF KERB |
| ⊙ | - TREE TRUNK | - | - EDGE OF TRELINIE |
| ⊙ | - ROAD SIGN | - | - ASSUMED SEWER ALIGNMENT (NOT IN USE) |
| ⊙ | - LIGHT POLE | - | - ASSUMED SEWER ALIGNMENT |
| ⊙ | - GATE | - | - ASSUMED WATER ALIGNMENT |
| | | - | - EASEMENT |

SITE DETAILS :

| | |
|------------|---------------|
| Electrical | - UNDERGROUND |
| Footpath | - YES |
| Gas | - YES |
| Kerb | - MOUNTABLE |
| Road | - BITUMEN |
| Sewer | - YES |
| Telecom | - YES |
| Water | - YES |



EXISTING ATTIC/STORE

43m²

EXISTING UPPER FLOOR PLAN SCALE 1:100

AREAS:

| | |
|---|----------------------------|
| EXISTING BUILDING (GROUND FLOOR ONLY) | 422.20m ² |
| EXISTING ALFRESCO DINING (CATHEDRAL AVE) | 64.80m ² |
| PROPOSED BREWERY ADDITION | 96.90m ² |
| PROPOSED VERANDAHS | 137.00m ² |
| PROPOSED BEER GARDEN + PLAYGROUND | 154.20m ² |
| PROPOSED ALFRESCO DINING (CATHEDRAL AVE) | 37.40m ² |
| TOTAL EXISTING & ADDITIONS (Approx.) | 912.50m² |

PROPOSED FLOOR PLAN SCALE 1:100

NEW FIRE ESCAPE EXIT DOOR LIKELY TO BE REQUIRED TO BE CONFIRMED BY BUILDING CERTIFIER (60MIN. FIRE RATED)

• REMOVE EXISTING WC
• PROVIDE NEW WALL MOUNTED URINAL AND PLUMB INTO EXISTING WASTE SYSTEM

• REMOVE EXISTING URINAL AND STEPS UP TO URINAL
• PROVIDE NEW WALL MOUNTED HAND BASIN AND PLUMB INTO EXISTING WASTE & WATER SYSTEM

• REMOVE EXISTING HAND BASINS.
• PROVIDE NEW TOILET SUITE AND PLUMB INTO EXISTING WASTE SYSTEM
• PROVIDE NEW WET AREA PARTITION TO PROVIDE AN AMBULANT COMPLAINT WC

• REMOVE EXISTING BRICKWORK ENCLOSING EXISTING WC
• PROVIDE NEW WET AREA PARTITIONS TO SUIT AMBULANT COMPLAINT WC

90mm STEEL FRAMED WALLS WITH FRL 60/60/60 FIRE PROTECTION WITHIN 3m OF THE BOUNDARY EXTENT SHOWN HATCHED

REMOVE EXISTING CONCRETE SLAB PAVING. PROVIDE NEW BRICK PAVING TO MATCH EXISTING

NEW 2.5m WIDE PITCHED VERANDAH

EXISTING LOW LIMESTONE RETAINING WALL

PROPOSED LOW LIMESTONE RETAINING WALL TO EXTENT SHOWN HATCHED

NEW 1:10 STEP RAMP TO COMPLY WITH AS1428.1

REMOVE EXISTING TIMBER DECKING AND FRAMING. PROVIDE NEW LIMESTONE RETAINING WALL AND PAVING TO MATCH EXISTING

CLEAR PATH OF TRAVEL TO EXIT DOOR TO COMPLY WITH AS1428.1

REMOVE EXISTING STOREROOM TO COMPLY WITH DOOR CIRCULATION/ACCESSIBLE APPROACH TO EXISTING DOOR INTO DISABLED WC

REMOVE EXISTING WINDOW AND BRICKWORK UNDER TO MAKE WAY FOR NEW BI-FOLD DOORS

REMOVE EXISTING WINDOW AND BRICKWORK UNDER TO MAKE WAY FOR NEW BI-FOLD DOORS

REMOVE EXISTING VERANDAH IN POOR CONDITION & BUILD NEW VERANDAH 2000 WIDE TO FULL LENGTH OF BEER GARDEN

REMOVE BRICKWORK PANEL AND PROVIDE NEW FIXED GLAZED WINDOW

REMOVE EXISTING BRICKWORK, PIER, BI-FOLD WINDOWS AND BRICKWORK UNDER TO MAKE WAY FOR NEW BI-FOLD DOORS (REFER TO STRUCTURAL ENGINEER)

PROPOSED LOW LIMESTONE RETAINING WALL TO EXTENT SHOWN HATCHED

EXISTING LOW LIMESTONE RETAINING WALL

NEW 2.5m WIDE PITCHED VERANDAH

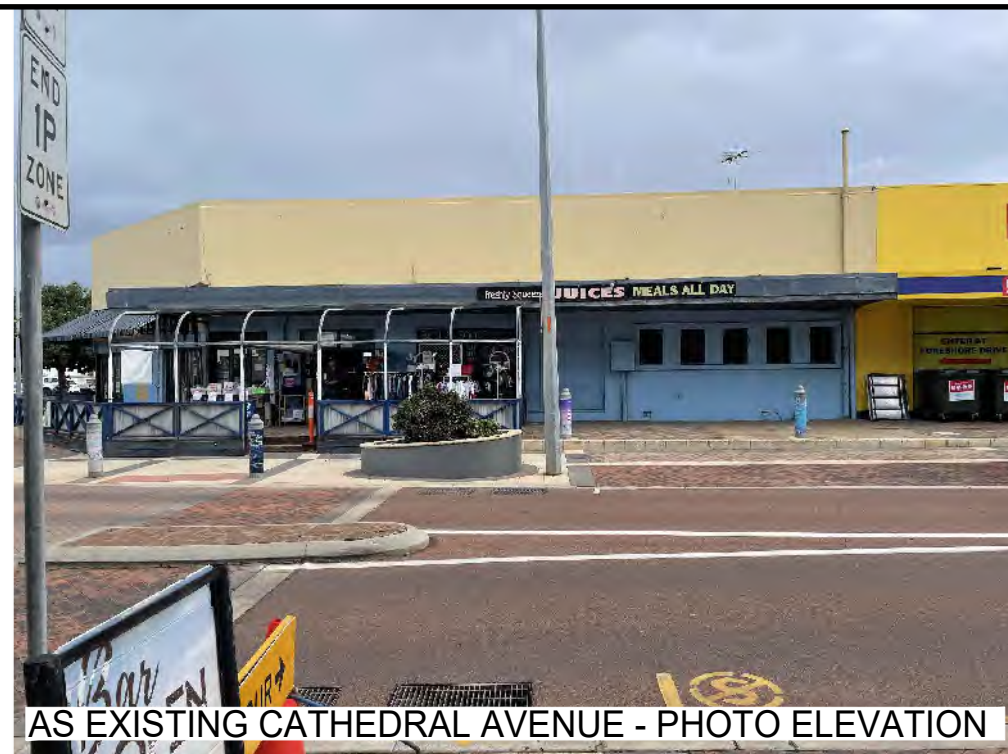
NEW TIMBER VERANDAH POSTS TO S.E. DETAILS



AS EXISTING FORESHORE DRIVE - PHOTO ELEVATION



AS EXISTING ROUNDABOUT - PHOTO ELEVATION



AS EXISTING CATHEDRAL AVENUE - PHOTO ELEVATION



AS EXISTING REAR CARPARK - PHOTO ELEVATION

